



CITY OF ST. PETERSBURG, FLORIDA
PLANNING & DEVELOPMENT SERVICES DEPT.
DEVELOPMENT REVIEW SERVICES DIVISION

STAFF REPORT
DEVELOPMENT REVIEW COMMISSION - VARIANCE REQUEST
PUBLIC HEARING

According to Planning & Development Services Department records, no **Commission member** resides or has a place of business within 2,000 feet of the subject property. All other possible conflicts should be declared upon the announcement of the item.

REPORT TO THE DEVELOPMENT REVIEW COMMISSION FROM DEVELOPMENT REVIEW SERVICES DIVISION, PLANNING & DEVELOPMENT SERVICES DEPARTMENT, for Public Hearing and Executive Action on **Wednesday, May 5, 2021 at 1:00 P.M.** at Council Chambers, City Hall, located at 175 5th Street North, St. Petersburg, Florida. Procedures will be implemented to comply with the CDC guidelines during the Public Hearing, including mandatory face coverings and social distancing with limitations on the number of attendees within Council Chambers. The City's Planning and Development Services Department requests that you visit the City website at www.stpete.org/meetings for up-to-date information.

CASE NO.:	21-54000014	PLAT SHEET:	E-16
REQUEST:	Approval of a variance to the front yard setback from 30-feet required to 23.45-feet proposed for an entry wall approximately 14-feet tall and an appeal to a previously denied administrative Design Variance to recognize Dutch West-Indies as a permitted Architectural Style in the NT-3 Zoning District.		
OWNER:	Richard Hughes 2925 1 st Street Northeast Saint Petersburg, Florida 33704-2907		
ADDRESS:	2925 1 st Street Northeast		
PARCEL ID NO.:	07-31-17-32598-001-0030		
LEGAL DESCRIPTION:	On File		
ZONING:	Neighborhood Traditional Single-Family (NT-3)		

Structure	Required	Requested
Sec. 16.40.040. : FENCE, WALL AND HEDGE REGULATIONS		
Entry Feature Wall	Maximum height is 4-ft tall for a fence or wall of any style located in the platted front yard.	14-ft tall entry feature wall adjacent to the existing front porch
Sec. 16.20.010.11 : Building and Site Design – Building Style		
Existing Residence And Proposed Renovation	Renovations, additions and accessory structures shall utilize the architectural style of the existing structure, or the entire existing structure shall be modified to utilize an identifiable architectural style which is recognized by design professionals as having a basis in academic architectural design philosophies	Style Proposed: Dutch West Indies

BACKGROUND: The subject property is an interior lot located on 1st Street North between 28th Avenue Northeast and 30th Avenue Northeast, in the Historic Old Northeast Neighborhood. The property is zoned NT-3 (Neighborhood Traditional Single-Family) and is developed with a one-story-single family residence constructed in 1946. The lot measures 50-feet wide, and approximately 5,230 sq ft in area. The minimum dimensional requirements for a lot in the NT-3 zoning district is 60-feet wide and 7,620 sq ft in lot area.

The applicant has a permit currently under plan review to construct an approximately 14-ft tall entry feature wall adjacent to the front porch which has been returned for corrections. The proposed feature wall and subject of the Design Variance exceeds the 4-feet maximum allowed for walls in the front yard. The request also includes an appeal to allow Dutch West-Indies as the proposed architectural style. This style is not currently considered a recognized or approved style based on the current Land Development Regulations and it is not found in any of the City's approved architectural design resources.

CONSISTENCY REVIEW COMMENTS: The Planning & Development Services Department staff reviewed this application in the context of the following criteria excerpted from the City Code and found that the requested variance is **inconsistent** with these standards. Per City Code Section 16.70.040.1.6 Variances, Generally, the DRC's decision shall be guided by the following factors:

1. *Special conditions exist which are peculiar to the land, building, or other structures for which the variance is sought and which do not apply generally to lands, buildings, or other structures in the same district. Special conditions to be considered shall include, but not be limited to, the following circumstances:*

- a. *Redevelopment. If the site involves the redevelopment or utilization of an existing developed or partially developed site.*

This request does not involve a full redevelopment of the site. The single-family home would remain in tact and the applicant plans to renovate the exterior of the home at a later time. This variance request is to allow the construction of an over-height feature wall adjacent to the front porch and to allow Dutch West-Indies as the new proposed style of the home.

- b. *Substandard Lot(s). If the site involves the utilization of an existing legal nonconforming lot(s) which is smaller in width, length or area from the minimum lot requirements of the district.*

The subject property is substandard in both lot width and area. The lot is 50-feet wide and approximately 5,230 sq ft in area. The required minimum lot width and area is 50-feet and 7,620 sq ft respectively. However the size of the lot should not effect the current request.

- c. *Preservation district. If the site contains a designated preservation district.*

This criterion is not applicable. This site is not in the National Registered Historic District.

- d. *Historic Resources. If the site contains historical significance.*

This criterion is not applicable. This request does not involve historic resources.

- e. *Significant vegetation or natural features. If the site contains significant vegetation or other natural features.*

This criterion is not applicable. This request does not involve significant vegetation.

- f. *Neighborhood Character. If the proposed project promotes the established historic or traditional development pattern of a block face, including setbacks, building height, and other dimensional requirements.*

The property is in the NT-3 Zoning District. Per 16.20.010.4.3 neighborhood traditional single-family neighborhoods in this district have lot widths that are larger, ranging between 60 and 65 feet. The development pattern typically features greater front and side yard building setbacks than the NT-2 district. The subject property is substandard in lot width and area however this should not affect the current request.

- g. Public Facilities. If the proposed project involves the development of public parks, public facilities, schools, public utilities or hospitals.*

This criterion is not applicable. This request does not involve public facilities.

- 2. The special conditions existing are not the result of the actions of the applicant;*

The special conditions are not the result of the applicant. The home which was constructed in 1946 was developed with a front building setback of 23.10-feet and the home would be considered a legal non-conforming structure as it does not meet the current setback requirement of 30-ft per Code Section 16.20.010.6. The Code however does state legal non-conforming structures cannot increase their non-conformity.

- 3. Owing to the special conditions, a literal enforcement of this Chapter would result in unnecessary hardship;*

The applicant is proposing to expand the existing front porch to be 23.45-feet from the front property line to construct a 14-foot tall entry feature wall. Per Code Section the maximum height for a wall in the front yard is 4-feet. A literal enforcement of this chapter would not result in unnecessary hardship. The applicant can have a wall in this area, however the maximum wall height would be 4-feet.

- 4. Strict application of the provisions of this chapter would provide the applicant with no means for reasonable use of the land, buildings, or other structures;*

The strict application of the code does provide the applicant the means for reasonable use of the land, buildings or other future structures.

As it relates to the architectural style the applicant does have the option to change the proposed style to one that is listed in one of the approved resources and a style that is representative of the proposed elevation. However, the structure would still need to meet the requirement regarding building materials under code section 16.20.010.11 requiring all building components to be appropriate to the selected architectural style and consistent through out the structure.

- 5. The variance requested is the minimum variance that will make possible the reasonable use of the land, building, or other structure;*

The variance requested is not the minimum variance that will make possible the reasonable use of the land, building or other structures on the property. Per Code Section 16.20.010.11 Renovations, additions and accessory structures shall utilize the architectural style of the existing structure, or the entire existing structure shall be modified to utilize an identifiable architectural style which is recognized by design professionals as having a basis in academic architectural design philosophies. The Land Development Regulations provides two options for acceptable references to utilize for architectural style in Code Section 16.40.020.1.

The first publication is titled, *"St. Petersburg's Design Guidelines for Historic Properties ("Guidelines"), adopted by the City Council ...on July 13, 2017, as amended by City Council resolution, was created to assist property owners in identifying the architectural style of their property and serve as a reference guide for property owners, architects, builders, contractors, and city officials in executing the various design requirements for both the City's historic preservation program and building design requirements contained within the individual zoning categories.*

Due to the diversity of architectural styles observed throughout St. Petersburg, several styles are not included within the guidelines and certain elements are not comprehensively covered. In each of these instances, reference may be made to other academic architectural resources for additional information, including but not limited to:

Virginia Savage and Lee McAlester. A Field Guide to American Houses. New York, NY: Alfred A. Knopf, Inc., 1984.

Virginia Savage and Lee McAlester. A Field Guide to American Houses (Revised): The Definitive Guide to Identifying and Understanding America's Domestic Architecture. New York, NY: Alfred A. Knopf, Inc., 2015.

The proposed style, Dutch West-Indies is not in either of these sources.

6. *The granting of the variance will be in harmony with the general purpose and intent of this chapter;*

The granting of the variance will not be in harmony with the general purpose and intent of this chapter. The proposed wall exceeds the maximum height allowed of 4-feet for walls in the front yard. Also the Dutch West-Indies Style is not present in the either of the acceptable references listed in Code Section 16.40.020.1. for approved architectural styles.

7. *The granting of the variance will not be injurious to neighboring properties or otherwise detrimental to the public welfare; and,*

The granting of the variance will not be injurious to neighboring properties or otherwise detrimental to public welfare. However it is inconsistent with the current Land Development Code Regulations.

8. *The reasons set forth in the application justify the granting of a variance;*

The applicant has indicated that the variance has been requested to increase the visual interest of the home, to create a buffer from the road and to enhance the neighborhood by providing a new element of architectural interest. The reasons set forth in the application do not justify the granting of a variance. Per Code Section 16.20.010.11, Renovations, additions and accessory structures shall utilize the architectural style of the existing structure, or the entire existing structure shall be modified to utilize an identifiable architectural style which is recognized by design professionals as having a basis in academic architectural design philosophies.

9. *No nonconforming use of neighboring lands, buildings, or other structures, legal or illegal, in the same district, and no permitted use of lands, buildings, or other structures in adjacent districts shall be considered as grounds for issuance of a variance permitting similar uses.*

None were considered.

PUBLIC COMMENTS: The subject property is within the boundaries of the Historic Old Northeast Neighborhood Association. Staff has received comments from the Neighborhood Association via email stating that they are not in support of the variance request. Their statement can be found in the attachments of this Staff Report.

STAFF RECOMMENDATION: Based on a review of the application according to the stringent evaluation criteria contained within the City Code, the Planning and Development Services Department Staff recommends **DENIAL** of the requested variance.

CONDITIONS OF APPROVAL: If the variance is approved consistent with the site plan submitted with this application, the Planning and Development Services Department Staff recommends that the approval shall be subject to the following:

1. The plans and elevations submitted for permitting should substantially resemble the plans and elevations submitted with this application.
2. All building new building materials and finishes are to be appropriate to the selected architectural style and consistent through out the structure.
3. This variance approval shall be valid through May 5, 2024. Substantial construction shall commence prior to this expiration date. A request for extension must be filed in writing prior to the expiration date.
4. Approval of this variance does not grant or imply other variances from the City Code or other applicable regulations.
5. Maximum impervious surface on the site must not exceed 65%, all plans submitted for permitting on this site must show the extent of all improvements on site and the Impervious Surface Ratio.

ATTACHMENTS: Applications, applicant's narrative, map, survey, floor plan, elevation drawings, photographs, Neighborhood Participation Report.

Report Prepared By:

Candace Scott

04/27/2021

Candace Scott, Planner I
Development Review Services Division
Planning & Development Services Department

Date

Report Approved By:

Jennifer C. Bryla

4/27/21

Jennifer Bryla, ACIP, Zoning Official (POD)
Development Review Services Division
Planning & Development Services Department

Date



VARIANCE

Application No. _____

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Development Review Services Division, located on the 1st floor of the Municipal Services Building, One Fourth Street North.

GENERAL INFORMATION	
NAME of APPLICANT (Property Owner): Richard Hughes	
Street Address: 2925 1st St. NE	
City, State, Zip: St. Petersburg, FL 33704	
Telephone No: 917-270-7184	Email Address: RichardHughes@ClearPH.com
NAME of AGENT or REPRESENTATIVE:	
Street Address:	
City, State, Zip:	
Telephone No:	Email Address:
PROPERTY INFORMATION:	
Street Address or General Location: 2925 1st St. NE	
Parcel ID#(s): 07-31-17-32598-001-0030	
DESCRIPTION OF REQUEST: Front Setback reduction for proposed entry feature wall from 30' (required) to 22' (proposed)	
PRE-APPLICATION DATE: 02/08/2021	
PLANNER: Jennifer Bryla; Candace Scott	

FEE SCHEDULE			
1 & 2 Unit, Residential - 1 st Variance	\$350.00	Each Additional Variance	\$100.00
3 or more Units & Non-Residential - 1 st Variance	\$350.00	After-the-Fact	\$500.00
		Docks	\$400.00
		Flood Elevation	\$300.00
Cash, credit, checks made payable to "City of St. Petersburg"			

AUTHORIZATION

City Staff and the designated Commission may visit the subject property during review of the requested variance. Any Code violations on the property that are noted during the inspections will be referred to the City's Codes Compliance Assistance Department.

The applicant, by filing this application, agrees he or she will comply with the decision(s) regarding this application and conform to all conditions of approval. The applicant's signature affirms that all information contained within this application has been completed, and that the applicant understands that processing this application may involve substantial time and expense. Filing an application does not guarantee approval, and denial or withdrawal of an application does not result in remittance of the application fee.

NOTE: IT IS INCUMBENT UPON THE APPLICANT TO SUBMIT CORRECT INFORMATION. ANY MISLEADING, DECEPTIVE, INCOMPLETE, OR INCORRECT INFORMATION MAY INVALIDATE YOUR APPROVAL.

Signature of Owner / Agent*: _____

Date: 02/26/2021

*Affidavit to Authorize Agent required, if signed by Agent.

Typed Name of Signatory: RICHARD P. HUGHES

VARIANCE

NARRATIVE (PAGE 1)

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the six criteria.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE	
Street Address: 2925 1st St. NE	Case No.:
Detailed Description of Project and Request:	
Front Setback reduction for proposed entry feature wall from 30' (required) to 22' (proposed)	
1. What is unique about the size, shape, topography, or location of the subject property? How do these unique characteristics justify the requested variance?	
The existing home was constructed prior to implementation of the 30' setback thereby making it impossible to comply with this requirement without demolishing the home.	
2. Are there other properties in the immediate neighborhood that have already been developed or utilized in a similar way? If so, please provide addresses and a description of the specific signs or structures being referenced.	
Only one, newly constructed, home on the block complies with the 30' setback. The property immediately to the north (100 30th Ave. NE) is setback only 19'-4"; while the address indicates that the structure fronts on 30th Ave., the main entry is oriented at 1st. st. NE.	
3. How is the requested variance not the result of actions of the applicant?	
The existing home was constructed prior to implementation of the 30' setback thereby making it impossible to comply with this requirement without demolishing the home.	

VARIANCE

NARRATIVE (PAGE 2)

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the six criteria.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE
<p>4. How is the requested variance the minimum necessary to make reasonable use of the property? In what ways will granting the requested variance enhance the character of the neighborhood?</p> <p>The setback reduction is requested for the construction of a new entry feature wall which is desired to enhance the architectural interest of the post-war era home.</p> <p>The requested variance is an enhancement to the neighborhood by providing a new element of architectural interest to the block, in a neighborhood that is defined by mixed styles of architecture. the proposed improvement transforms the look of a simple block house, to one that is representative of historic, globally inspired architecture that is exhibited in varying forms throughout the Historic Old Northeast Neighborhood.</p> <p>Furthermore, the character of Neighborhood Traditional districts are described as:</p> <p>Buildings typically feature vertically-oriented architecture and were constructed close to the street</p>
<p>5. What other alternatives have been considered that do not require a variance? Why are these alternatives unacceptable?</p> <p>The existing home was constructed prior to implementation of the 30' setback thereby making it impossible to comply with this requirement, there are no alternatives.</p>
<p>6. In what ways will granting the requested variance enhance the character of the neighborhood?</p> <p>The setback reduction is requested for the construction of a new entry feature wall which is desired to enhance the architectural interest of the post-war era home.</p> <p>The requested variance is an enhancement to the neighborhood by providing a new element of architectural interest to the block, in a neighborhood that is defined by mixed styles of architecture. the proposed improvement transforms the look of a simple block house, to one that is representative of historic, globally inspired architecture that is exhibited in varying forms throughout the Historic Old Northeast Neighborhood.</p>



Design Variance Request

Application No. _____

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Development Review Services Division, located on the 1st floor of the Municipal Services Building, One 4th Street North.

GENERAL INFORMATION	
NAME of APPLICANT (Property Owner): Richard Hughes	
Street Address: 2925 1st St. NE	
City, State, Zip: St. Petersburg, FL 33704	
Telephone No: 917-270-7184	Email Address: RichardHughes@clearph.com
NAME of AGENT or REPRESENTATIVE:	
Street Address:	
City, State, Zip:	
Telephone No:	Email Address:
PROPERTY INFORMATION:	
Street Address or General Location: 2925 1st St. NE	
Parcel ID#(s): 07-31-17-32598-001-0030	
DESCRIPTION OF REQUEST:	
Request acceptance of Dutch-West Indies architectural style for proposed entry feature wall at the front stoop of the above referenced subject parcel.	
PRE-APPLICATION DATE: 02/08/2021	PLANNER: Jennifer Bryla; Candace Scott

FEE SCHEDULE

Design Variance: \$200.00
Cash, credit, checks made payable to "City of St. Petersburg"

AUTHORIZATION

City Staff and the designated Commission may visit the subject property during review of the requested variance. Any Code violations on the property that are noted during the inspections will be referred to the City's Codes Compliance Assistance Department.

The applicant, by filing this application, agrees he or she will comply with the decision(s) regarding this application and conform to all conditions of approval. The applicant's signature affirms that all information contained within this application has been completed, and that the applicant understands that processing this application may involve substantial time and expense. Filing an application does not guarantee approval, and denial or withdrawal of an application does not result in remittance of the application fee.

NOTE: IT IS INCUMBENT UPON THE APPLICANT TO SUBMIT CORRECT INFORMATION. ANY MISLEADING, DECEPTIVE, INCOMPLETE, OR INCORRECT INFORMATION MAY INVALIDATE YOUR APPROVAL.

Signature of Owner / Agent*:

Date: 02/26/2021

*Affidavit to Authorize Agent required, if signed by Agent.

Typed Name of Signatory: Richard P. Hughes

Design Variance Request

NARRATIVE (PAGE 1)

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the seven criteria.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE	
Street Address: 2925 1st St. NE	Case No.:
Detailed Description of Project and Request:	
Request acceptance of Dutch-West Indies architectural style for proposed entry feature wall at the front stoop of the above referenced subject parcel	
<p>1. In what ways does the design variance reinforce a unique condition of an identifiable architectural style lending to the design intent of that style?</p> <p>Neighborhood Traditional Districts are defined by the Land Development Regulations as: The homes in traditional neighborhoods were typically constructed prior to 1950 and exhibit architecture of the early 20th Century. Buildings typically feature vertically-oriented architecture and were constructed close to the street. Front doors face the street and are enhanced with architecturally appropriate features. Front porches or stoops are common and add emphasis and visual interest to the primary entrance. Side and rear yard setbacks are minimal. Building heights typically do not exceed 24 feet. Buildings include a variety of roof designs such as gable, hip, and gambrel. The upper portions of taller buildings typically taper or step back from the property lines. The proposed improvement is an effort to enhance the visual interest of the home by constructing a Dutch-West Indies style entry feature. The exterior of the home will be re-stuccoed to match the new feature creating a comprehensive new aesthetic in a defined architectural style.</p>	
<p>2. What is unique about the size, shape, topography, or location of the subject property? How do these unique characteristics justify the requested variance?</p> <p>The existing home is essentially a post-war era style home with little architectural interest. The proposed feature will alter the entire appearance of the home to make it more visually interesting. With frontage on 1st St. this feature wall will add privacy and security and buffer traffic noise from the increasingly utilized roadway.</p>	
<p>3. Are there other properties in the immediate neighborhood that have already been developed or utilized in a similar way? If so, please provide addresses and a description of the specific signs or structures being referenced.</p> <p>There are several homes in this neighborhood that display this architectural style, please refer to the attached "Exhibit A" with photos and addresses of these properties.</p>	

Design Variance Request

NARRATIVE (PAGE 2)

APPLICANT NARRATIVE CONTINUED

4. How is the requested variance not the result of actions of the applicant?

While the architectural style proposed is not included in the City's current guidebook, it is a defined style which has been permitted for other properties in this neighborhood. The applicant only seeks the same allowances permitted to other homeowners in the area.

5. How is the requested variance the minimum necessary to make reasonable use of the property? In what ways will granting the requested variance enhance the character of the neighborhood?

The character of the neighborhood will be enhanced by converting the appearance of the post-war era home to one with greater visual interest which meets the intent of the neighborhood by adding a vertically oriented enhancement at the street frontage. As demonstrated in "Exhibit A", this style is prevalent and complimentary to the neighborhood.

6. What other alternatives have been considered that do not require a variance? Why are these alternatives unacceptable?

Due to the style not being included in the current architectural guidebook utilized by zoning review, it is not possible to achieve this style without the approval of a variance.

7. In what ways will granting the requested variance enhance the character of the neighborhood?

The requested variance is an enhancement to the neighborhood by providing a new element of architectural interest to the block, in a neighborhood that is defined by mixed styles of architecture. the proposed improvement transforms the look of a simple block house, to one that is representative of historic, globally inspired architecture that is exhibited in varying forms throughout the Historic Old Northeast Neighborhood.



Pre-Application Meeting Notes

Meeting Date: _____ Zoning District: _____

Address/Location: _____

Request: _____

Type of Application: _____ Staff Planner for Pre-App: _____

Attendees: _____

Neighborhood and Business Associations within 300 feet:

Assoc.	Contact Name:	Email:	Phone:

(See Public Participation Report in applicable Application Package for CONA and FICO contacts.)

Notes: _____

AFFIDAVIT TO AUTHORIZE AGENT

STATE OF FLORIDA
COUNTY OF PINELLAS

I am (we are) the owner(s) and record title holder(s) of the property noted herein .

Property Owner's Name: **Richard P. Hughes**

This property constitutes the property for which the following request is made:

Property Address: 2925 1st Street NE

Parcel ID Number: 07-31-17-32598-001-0030

Request: Case No. 21-54000014 Variances

The undersigned have appointed and do appoint the following agents to execute any application(s) or other documentation necessary to effectuate such applications(s):

Agents' Names: Craig A. Taraszki, Esq.
Johnson, Pope, Bokor, Ruppel & Burns, LLP

This affidavit has been executed to induce the City of St. Petersburg, Florida, to consider and act on the above described property.

We, the undersigned authority, hereby certify that the foregoing is true and correct.

Signature (owner):



Printed Name: Richard P. Hughes

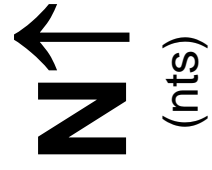
SWORN TO AND SUBSCRIBED before me, by means of ☒ physical presence or ☐ online notarization, this 16th day of April, 2021, by Richard P. Hughes, who ☒ is personally known to me or ☐ has produced _____ as identification.




Notary Public
My Commission Expires: 11/05/2023



Project Location Map
City of St. Petersburg, Florida
Planning and Development Services
Department
Case No.: 21-54000014
Address: 2925 1st Street Northeast



RICHARD HUGHES RESIDENCE
2925 1ST ST. NE, ST. PETERSBURG, FL 33704
SITE PLAN



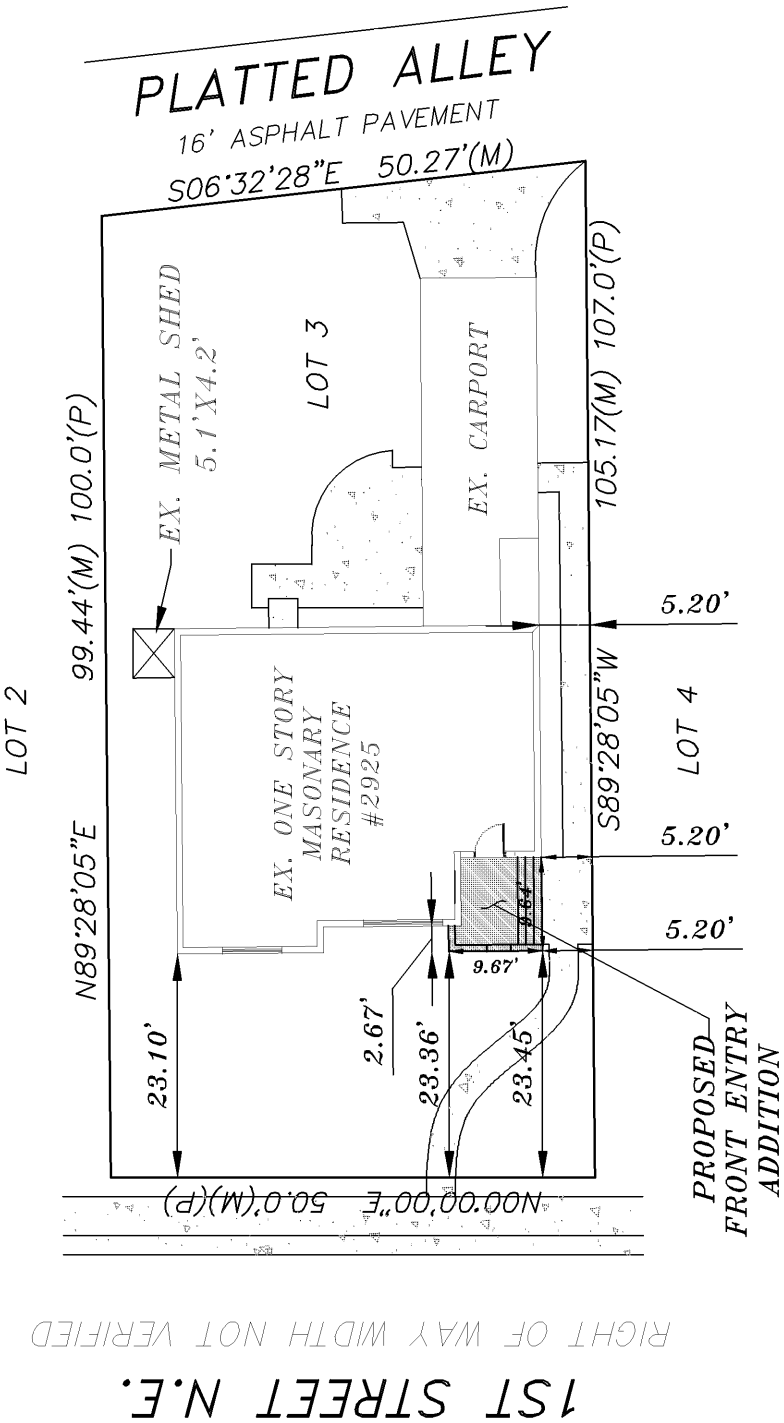
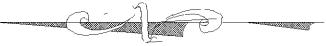
LIS ENGINEERING, LLC
RESIDENTIAL & COMMERCIAL
ENGINEERING & DESIGN SERVICES
CA NO. 28068
FL NO. 144843

APPROVED
ROBERT W. CASE
FLORIDA P.E. #44843

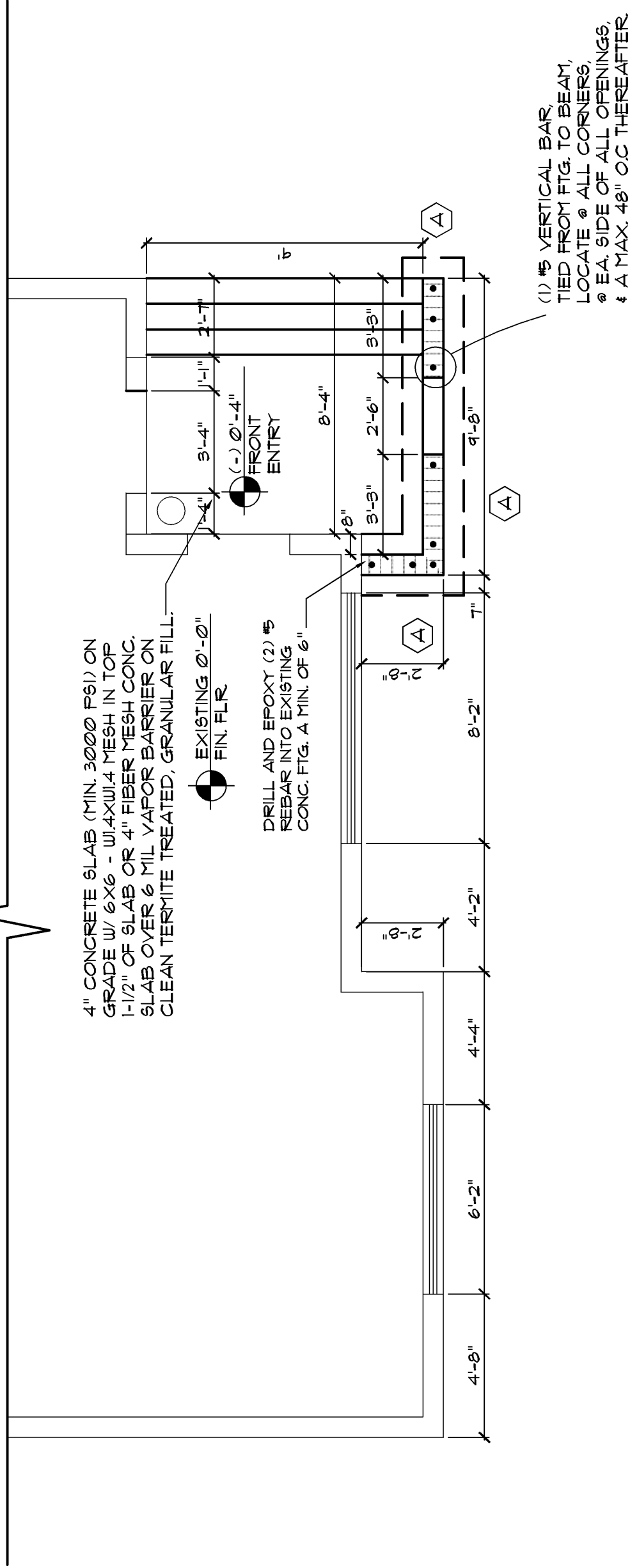
NO.

REVISIONS

DATE



DESIGN PARAMETERS:

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PROPOSED FOUNDATION PLAN

TERMITE PROTECTION:

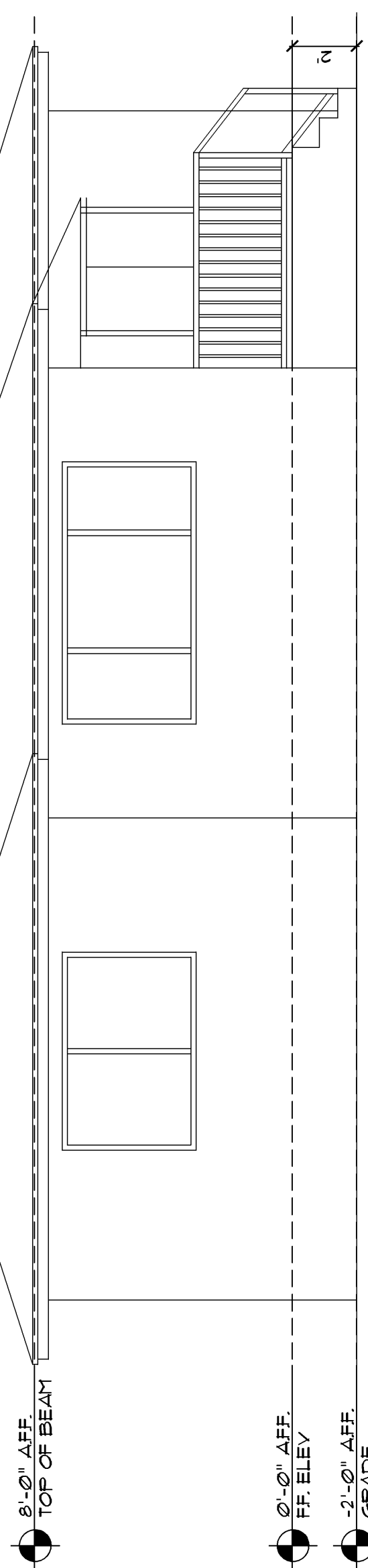
1. TERNITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERNITICIDES OR OTHER APPROVED METHODS OF TERNITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEEM CONSTRUCTION.
2. IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERNITE PREVENTION, INITIAL CHEMICAL SOIL TREATMENT INSIDE THE FOUNDATION PERIMETER SHALL BE DONE AFTER ALL EXCAVATION, BACKFILLING AND COMPACTION IS COMPLETE.
3. TERNITE SHALL BE APPLIED TO ALL EXISTING AND NEW CONCRETE BOXES OR FORMED, REINFORCED WITH CHEMICAL SOIL TREATMENT INCLUDING SPACE BOXES OR FORMED SPACE IN CONCRETE FLOORS BOXED OUT OR FORMED FOR THE SUBSEQUENT INSTALLATION OF PILING TRAPS, DRAINS OR ANY OTHER PURPOSE SHALL BE CREATED BY USING PLASTIC OR METAL PERMANENTLY PLACED FORMS OF SUFFICIENT DEPTH TO ELIMINATE ANY PLANNED SOIL DISTURBANCE AFTER INITIAL CHEMICAL SOIL TREATMENT.
4. ALL EXISTING AND NEW CONCRETE SHALL BE PROTECTED WITH A MINIMUM 6 MIL VAPOR BARRIER TO PROTECT AGAINST RAINFALL DILUTION, IF RAINFALL OCCURS BEFORE REPAIR OR REPLACEMENT RE-TREATMENT IS REQUIRED, ANY WORK INCLUDING PLACEMENT OF REINFORCING STEEL DONE AFTER CHEMICAL TREATMENT UNTIL THE CONCRETE FLOOR IS POURED SHALL BE DONE IN SUCH MANNER AS TO AVOID PENETRATING OR DISTURBING TREATED SOIL.
5. CONCRETE OVER-POUR OR MORTAR ACCUMULATED ALONG THE EXTERIOR FOUNDATION SHALL BE REMOVED IMMEDIATELY TO PREVENT CHEMICAL SOILED TREATMENT, TO ENHANCE VERTICAL PENETRATION OF TERNITICIDE INTO THE EXTERIOR.
6. CHEMICAL SOIL TREATMENTS SHALL ALSO BE APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 1 FOOT (305 MM) OF THE PRIMARY STRUCTURE SIDEWALLS, ALSO, A VERTICAL CHEMICAL BARRIER SHALL BE APPLIED PROMPTLY AFTER CONSTRUCTION IS COMPLETED, INCLUDING INITIAL LANDSCAPE AND IRRIGATION / SPRINKLER INSTALLATION, ANY SOIL DISTURBED AFTER THE CHEMICAL VERTICAL BARRIER IS LAYED WILL BE PROMPTLY RETREATED.
7. ALL EXISTING AND NEW CONCRETE SHALL BE PROTECTED WITH A MINIMUM 6 MIL VAPOR BARRIER TO PROTECT AGAINST RAINFALL DILUTION, IF RAINFALL OCCURS BEFORE REPAIR OR REPLACEMENT RE-TREATMENT IS REQUIRED, ANY WORK INCLUDING PLACEMENT OF REINFORCING STEEL DONE AFTER CHEMICAL TREATMENT UNTIL THE CONCRETE FLOOR IS POURED SHALL BE DONE IN SUCH MANNER AS TO AVOID PENETRATING OR DISTURBING TREATED SOIL.
8. CONCRETE OVER-POUR OR MORTAR ACCUMULATED ALONG THE EXTERIOR FOUNDATION SHALL BE REMOVED IMMEDIATELY TO PREVENT CHEMICAL SOILED TREATMENT, TO ENHANCE VERTICAL PENETRATION OF TERNITICIDE INTO THE EXTERIOR.
9. ALL EXISTING AND NEW CONCRETE SHALL BE PROTECTED WITH A MINIMUM 6 MIL VAPOR BARRIER TO PROTECT AGAINST RAINFALL DILUTION, IF RAINFALL OCCURS BEFORE REPAIR OR REPLACEMENT RE-TREATMENT IS REQUIRED, ANY WORK INCLUDING PLACEMENT OF REINFORCING STEEL DONE AFTER CHEMICAL TREATMENT UNTIL THE CONCRETE FLOOR IS POURED SHALL BE DONE IN SUCH MANNER AS TO AVOID PENETRATING OR DISTURBING TREATED SOIL.
10. ALL BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERNITES. THE RULES AND LAWS AS ESTABLISHED BY FLORIDA DEPARTMENT OF REVENUE AND CONSTRUCTION SERVICES SHALL BE DEEMED AS APPLIED TO SUBTERRANEAN TERNITES. A CERTIFICATE OF COMPLIANCE SHALL BE AFFORDED TO THE BUILDING DEPARTMENT. THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT:

"THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

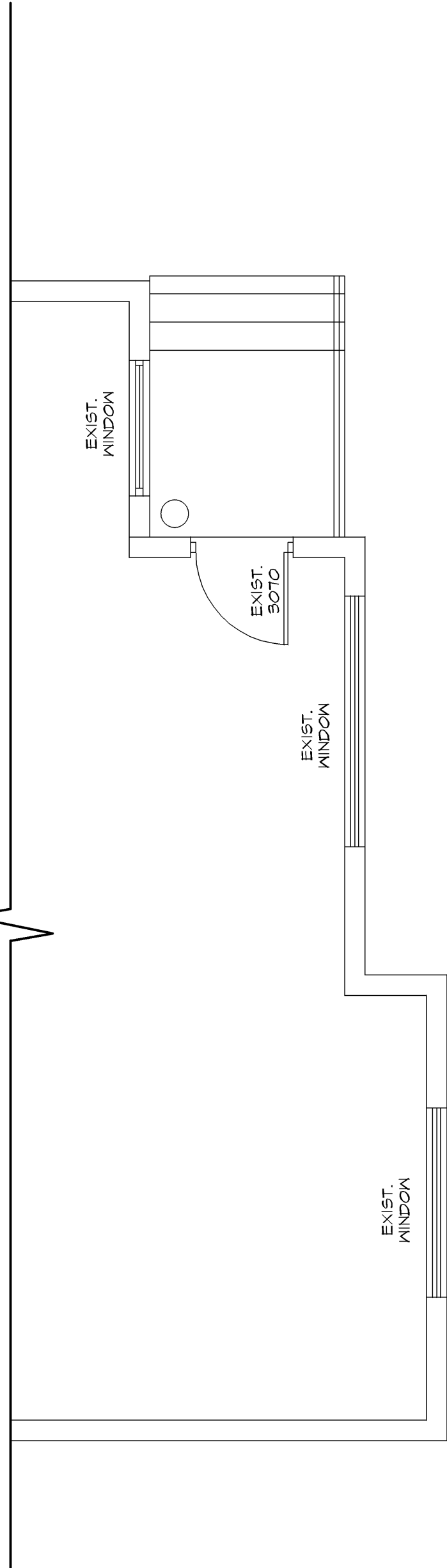
CONCRETE FOOTING SCHEDULE

TAG	TYPE	LENGTH	WIDTH	DEPTH	BOTT. REIN.		TOP REIN.		COMMENTS
					LONG	SHORT	LONG	SHORT	
(A)	STEM-WALL	CONT.	2'-0"	1'-4"	(3)	#5	N/A	N/A	2-STORY BEARING WALL FOOTINGS

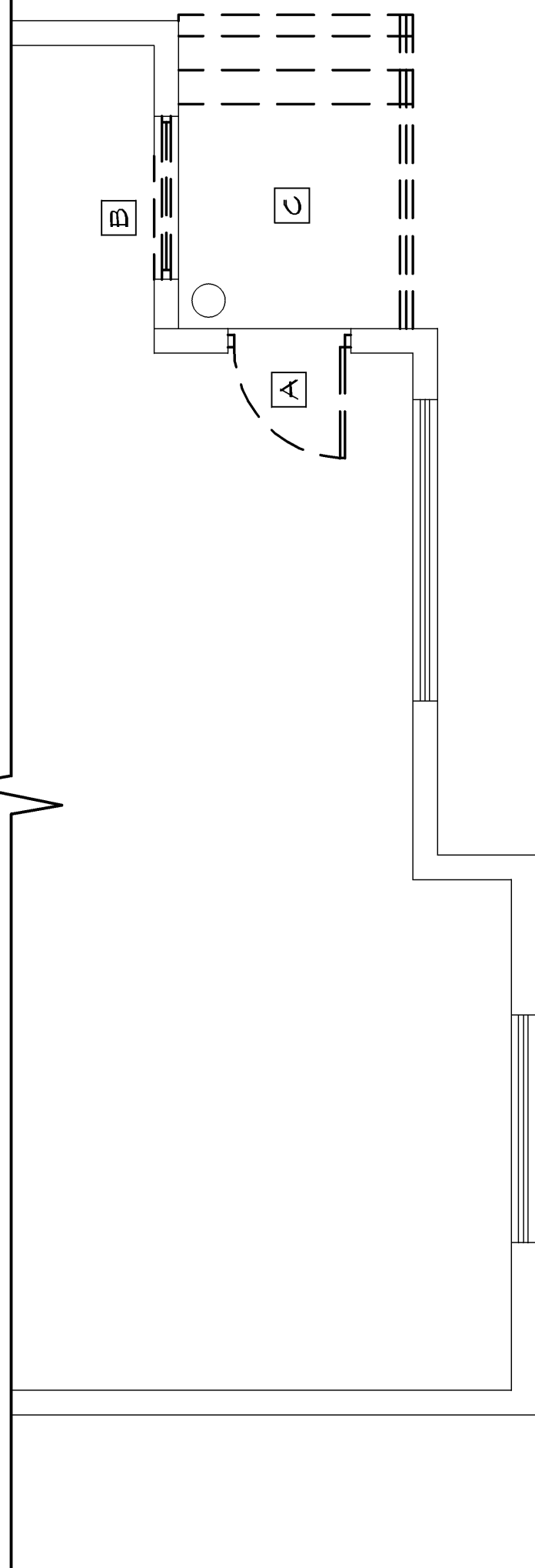
EXISTING FRONT ELEVATION



PROPOSED FRONT ELEVATION



EXISTING FLOOR PLAN



DEMOLITION PLAN

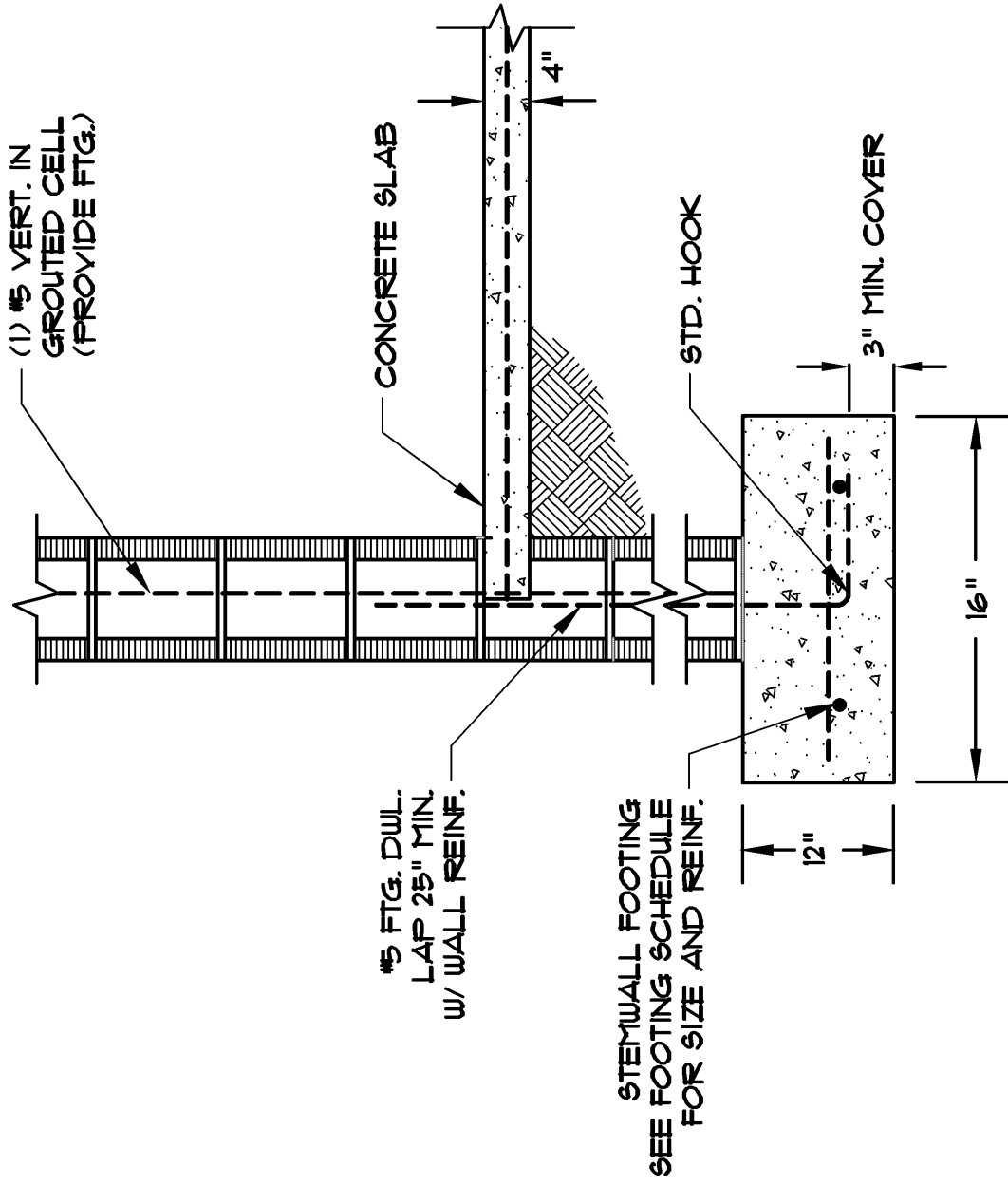
DEMOLITION NOTES

- A. REMOVE EXISTING DOOR AND INFILL OPENING.
- B. REMOVE EXISTING WINDOW AND WALL BELOW IN AREA WHERE PROPOSED DOOR WILL BE IN STALLED.
- C. REMOVE EXISTING PORCH.

FOOTINGS, WALLS, AND TIE-BEAMS

1. Concrete masonry units shall be hollow or solid unit masonry in accordance with ASTM C 90 or C 145 and shall have minimum net area compressive strength of 1900 psi.
2. Mortar shall be either Type M or S in accordance with ASTM C 270.
3. Grout shall have a minimum coarse aggregate size of 3/8 inch placed in accordance with ASTM C 1019, or shall be specified compressive strength of 2000 psi at 28 days when tested in accordance with ASTM C 1019, or shall be in accordance with ASTM C 476.
4. Concrete shall have a minimum specified compressive strength of 3000 psi at 28 days.
5. Reinforcing steel shall be minimum Grade 60 or 40 and identified in accordance with ASTM A 615, A 616, A 617, or A 706.
6. Joint reinforcement, anchors, ties, and wire fabric shall conform to the following standards: ASTM A 82 for joint reinforcement and wire anchors and ties. ASTM A 36 for plate, headed and bent bar anchors. ASTM A 366 for sheet metal anchors and ties.
7. Metal accessories for use in exterior wall construction and not directly exposed to the weather shall be galvanized in accordance with ASTM A 153, Class B-2.
8. All mortar joints for hollow unit masonry shall extend the full width of face shells.
9. Mortar joints for solid masonry shall be full head and bed joints. Bed joints shall be (3/8 inch) X (1/8 inch) thick. Head joints shall be 3/8 inch (+ 3/8 inch or - 1/4 inch) thick.
10. The bed joint of the starting course placed over footings shall be permitted to vary in thickness from a minimum of 1/4 inch to a maximum of 3/4 inch.
11. Masonry walls shall be running bond or stack bond construction.
12. When masonry units are laid in stack bond or running bond, a 90-degree (minimum) horizontal joint reinforcement, in addition to required vertical reinforcement, shall be placed in bed joints at not more than 16 inches on center.
13. Longitudinal wires of joint reinforcement shall be fully embedded in mortar or grout with minimum cover of 5/8 inch when exposed to earth or weather and 1/2 inch when not exposed to earth or weather.
14. Reinforcing steel shall be No. 5 bars.
15. Splices shall be lap splices.
16. Non-contact lap splices may be used provided reinforcing bars are not spaced farther apart than 5 inches.
17. Splice lengths shall be minimum of 25 inches for No. 5 bars.
18. Reinforcement may be bent in the shop or in the field provided: All reinforcement shall be bent cold, and the diameter of the bend, measured on the inside of the bar, is not less than six bar diameters, and Reinforcement partially embedded in concrete shall not be field bent, except where bending is necessary to align dowel bars with a vertical cell, bars partially embedded in concrete shall be permitted to be bent at slope of not more than 1 inch of horizontal displacement to 6 inches of vertical bar length.
19. For foundations minimum concrete cover over reinforcing bars shall be 3 inches.
20. Footings for stem-wall foundations shall be a minimum of 10" thick by 16" wide, with two (2) #5 reinforcing bars.
21. Footing for monolithic slab on grade foundations shall be a minimum of 16" thick by 16" wide, with two (2) #5 reinforcing bars.
22. In narrow footing where sufficient width is available to accommodate a standard 90 degree hook and provide the required concrete cover, the hook shall be rotated in the horizontal direction until the required concrete cover is achieved.
23. For cast-in-place tie beams the minimum concrete cover for reinforcing shall be 1 1/2 inches.
24. Reinforcement bars embedded in grouted masonry cells shall have a minimum clear distance of 1/2 inch between reinforcing bars and any face of a cell.
25. Reinforcing bars used in masonry walls shall have a masonry cover (including grout) or not less than 2 inches.
26. Clean-out openings shall be provided for cells containing spliced reinforcement when the grout pour exceeds 5 feet in height.
27. Where clean-out openings are required, an opening shall be provided in the bottom course of the masonry cell to be filled.
28. Clean-out openings shall have minimum area of 12 square inches and a minimum opening dimension of 3 inches.
29. Masonry protrusions extending 1/2 inch or more into cells or cavities to be grouted shall be removed for grout pours over 5 ft.
30. Spaces to be grouted shall be free of mortar droppings, debris, loose aggregates, and any material deleterious to masonry grout.
31. A soil or waste pipe of a building drain passing under a footing or through a foundation wall shall be provided with a relieving arch, or there shall be built into the masonry a wall on top pipe sleeve two pipe sizes greater than the pipe passing through.
32. The top and bottom of all footings shall be level. The bottom of all footings, except monolithic slab-on-grade interior footings, shall be a minimum of 12" below finished ground line.
33. The outer bar of foundation steel shall be continuous around corners except corner bars or by bending the bar in accordance with notes herein, in both cases, the minimum lap shall be 25 inches.
34. Foundation stem-walls shall be 8 inches thick, and shall have some vertical reinforcing as the wall above.
35. Footing doweled bars shall be provided for all required vertical wall reinforcement in the following location: At all corners. At each side of each opening. At all other required vertical wall reinforcement. At all hp girder bearing points.
36. Footing doweled bars at each location shall be same size and quantity as the vertical wall reinforcement above.
37. All footing doweled bars shall have a standard 90 degree hook and shall be embedded a min. of 6" into footings.
38. Concrete slab-on-grade shall be cast in place and shall be 4 inches thick minimum. Concrete shall have a minimum specified compressive strength of not less than 2500 psi at 28 days.
39. The minimum thickness of exterior masonry walls shall be 8 inches.
40. A reinforced tie beam shall be provided at the top of each exterior wall.
41. Tie beams shall be 8x16" high cast-in-place concrete.
42. Tie beam reinforcement shall be four No. 5 bars except where noted.
43. Reinforcement shall be located in the top and bottom of 16 inch bond beams.
44. Where more than one bar is required, only one of the bars must be continuous around corners.
45. For vertical reinforcement one No. 5 bar in a grouted cell shall be provided in each corner, including interior corners, and corners created by changes in wall direction by offsetting of walls such as at projected bays and inset porches.
46. For vertical reinforcement one No. 5 bar shall be provided on each side of openings.
47. In addition to vertical reinforcement required at corners, at openings, and at hp girder bearing points, vertical reinforcement consisting of one No. 5 bar shall be provided every 6 feet on center maximum.
48. All vertical wall reinforcement shall be terminated in the bond beam at the roof level with a standard hook. The hook may be formed by bending the vertical wall reinforcement, in accordance with notes herein or by lap splicing to a standard hook. The hook shall extend to the upper most horizontal reinforcement of the bond beam and shall be embedded a minimum of 6 inches into the bond beam, see standard details.
49. Continuous tie beams acting as lintels shall be 16 inches high top and bottom reinforcement continuous over the wall and opening. The amount of reinforcement shall be as follows; unless additional reinforcement is required due to large bearing loads (i.e. hp girder bearing points).
50. Tie beams shall have top and bottom reinforcement over openings.
51. Tie beams which have additional reinforcement over openings which is in addition to that required over the wall shall extend past the opening a minimum of 24".
 - a. Openings up to 6'-0" shall have four (4) #5 bars.
 - b. Openings from 6'-1" to 8'-0" shall have five (5) bars.
 - c. Openings from 8'-1" to 12'-0" shall have six (6) bars.
 - d. Openings from 12'-1" to 16'-0" shall have seven (7) #5 bars.
 - e. Openings from 16'-1" to 18'-0" shall have eight (8) #5 bars.
52. Openings from 18'-1" to 24'-0" shall have ten (10) #5 bars.
53. Openings from 24'-1" to 30'-0" shall have twelve (12) #5 bars.
54. Stem-wall foundation height shall not exceed 3'-0" from finished grade to top of masonry.
55. Columns shall be constructed of standard masonry units.
56. Maximum column height (to the top of the bond beam) shall be 10 ft.
57. Columns shall contain a minimum of four vertical bars, one in each corner.
 - a. Vertical column reinforcement shall be four No. 3 bars for 8x8 inch columns and four No. 5 bars for all other column sizes.
 - b. Clearance from the vertical bar to the masonry face shall be 1/2 inch. Minimum cover for cast in place columns shall be 1 1/2 inches over the column ties.

CMU STEMWALL & FOOTING FOR CMU EXTERNAL WALLS	1 SI
	NT\$.



58. Connection of columns to the foundation below and to the bond beam at the top shall be as follows:

- a. 8x8 inch column: one No. 5 standard 90 degree hook into the support at the bottom and into the bond beam at the top.
- b. 8x16 inch column: two No. 5 standard 90 degree hooks (one in each cell) both at the bottom and at the top.
- c. 12x12 inch column and 6x16 inch column:
Bottom: Four No. 5 standard 90 degree hooks (one at each vertical bar) extending from the foundation and spliced with the vertical column reinforcement;
Top: For corner columns, three No. 5 standard 90 degree hooks into the bond beam, minimum, each spliced to a vertical column bar. For column located other than at a corner, two No. 5 standard 90 degree hook into the bond beam shall be spliced to separate vertical column bars.

GENERAL

1. US Engineering, LLC have not been retained to provide, nor are they responsible for, the field supervision, inspection, or construction administration of this project.
2. This building/structure has been designed in accordance with the Sixth Edition of the 2017 Florida Building Codes, and Section 1609 for design pressures generated by a three second gust design wind velocity of **160 mph**, (124 mph fastest mile wind velocity). Structural calculations including gravity loads, as necessary to confirm compliance with the Sixth Edition of the 2017 Florida Building Code, have been performed. The owner, his agent, or general contractor is responsible for field supervision, construction administration, review and approval of all shop drawings, verification on-site of all dimensions and elevations, and strict compliance with these construction documents as approved by Collier County, drawn, designed and reviewed by US Engineering, LLC.
4. These plans are not intended to be mastered. The repetitive use of these plans for permitting is not approved.
5. Exterior glazing shall be impact resistant or protected with an impact resistant covering meeting the requirements of STD 12, ASTM E 1886 and ASTM E 1996, or Miami-Dade PA 201, 202, and 203, meeting the requirements of the Large Missile Test.
6. All windows, doors, and other such systems, components and cladding shall be designed in accordance with Section 1609 of the Sixth Edition of the 2017 Florida Building Code for design pressures generated by a three second gust design wind velocity of **160 mph**, (124 mph fastest mile wind velocity), see "Design Parameters" for specific pressures.
7. Contractor shall notify the owner in writing prior to construction of any discrepancy between plans and on-site dimensions and elevations.

FASTENERS & CONNECTORS

1. Approved connectors, anchors and other fastening devices not included in the Florida Building Code shall be installed in accordance with the manufacturer's recommendations.
2. Where fasteners are not otherwise specified fasteners shall be provided in accordance with table 2304.9.1 of the Sixth Edition of the 2017 Florida Building Code. Nails, screws, or bolts shall be able to resist the forces in this Code.
3. Unless otherwise stated, sizes given for nails are common wire nails. For example, $8d = 2\frac{1}{2}$ inches long \times 0.131-inch diameter. See Table 12.3B, columns 2, 3, and 4, in the National Design Specifications for Wood Construction. Metal plates, connectors, screws, bolts and nails exposed directly to the weather or subject to salt corrosion in coastal areas, as determined by the Building Official, shall be stainless steel, or hot dipped galvanized after the fastener or connector is fabricated to form a zinc coating not less than 1 oz per sq ft, or hot dipped galvanized with a minimum coating of 1.5 oz per sq ft of steel meeting the requirements of ASTM A 90 Triple Spot Test.

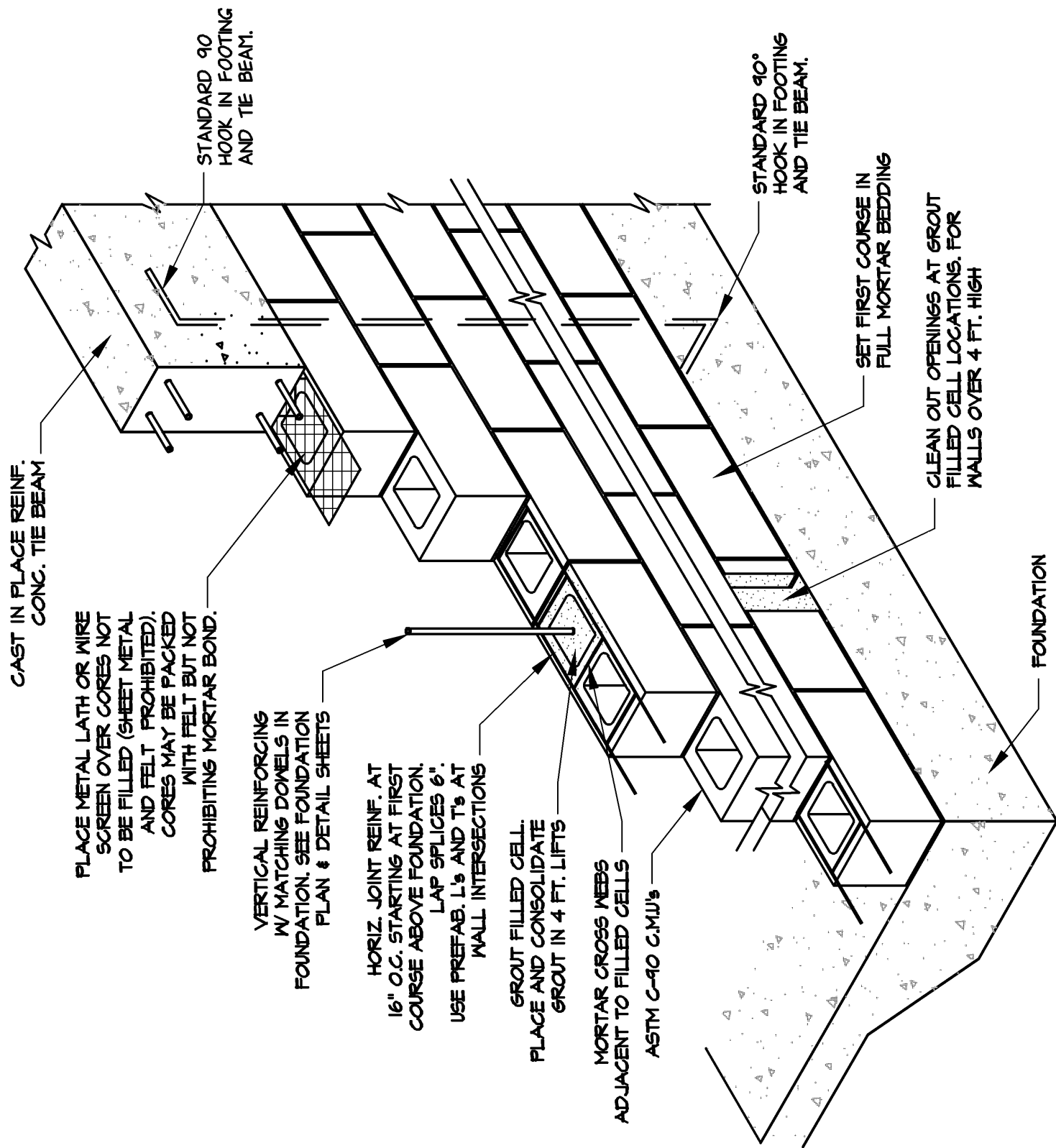
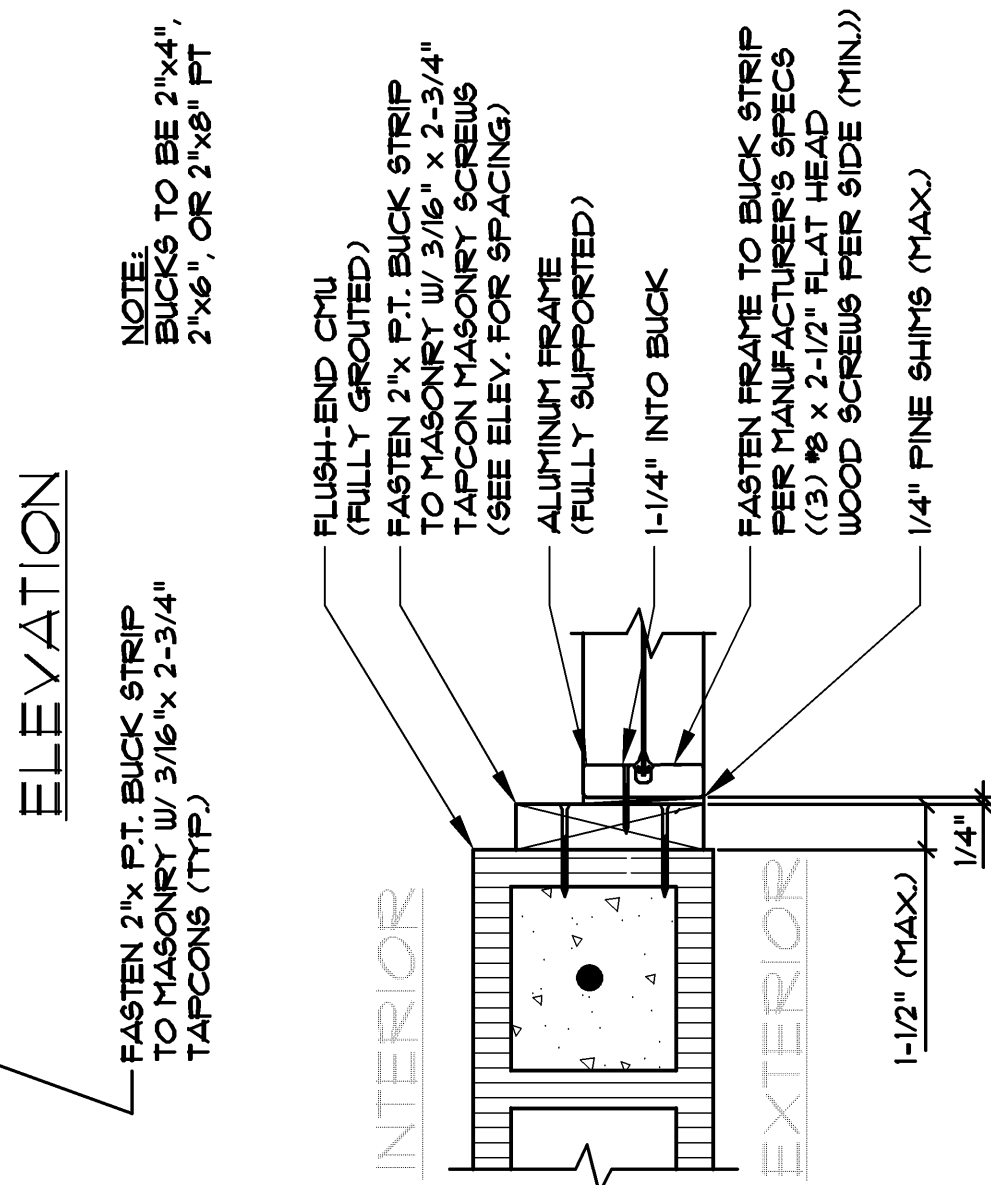
EXTERIOR WALL VENEERS

1. Exterior wall veneers shall be installed in accordance with Section 405 of the Sixth Edition of the 2017 Florida Building Code
2. Application of stucco (Portland Cement Plaster) shall be in accordance with ASTM C 296, Application of Portland Cement Based Plaster.

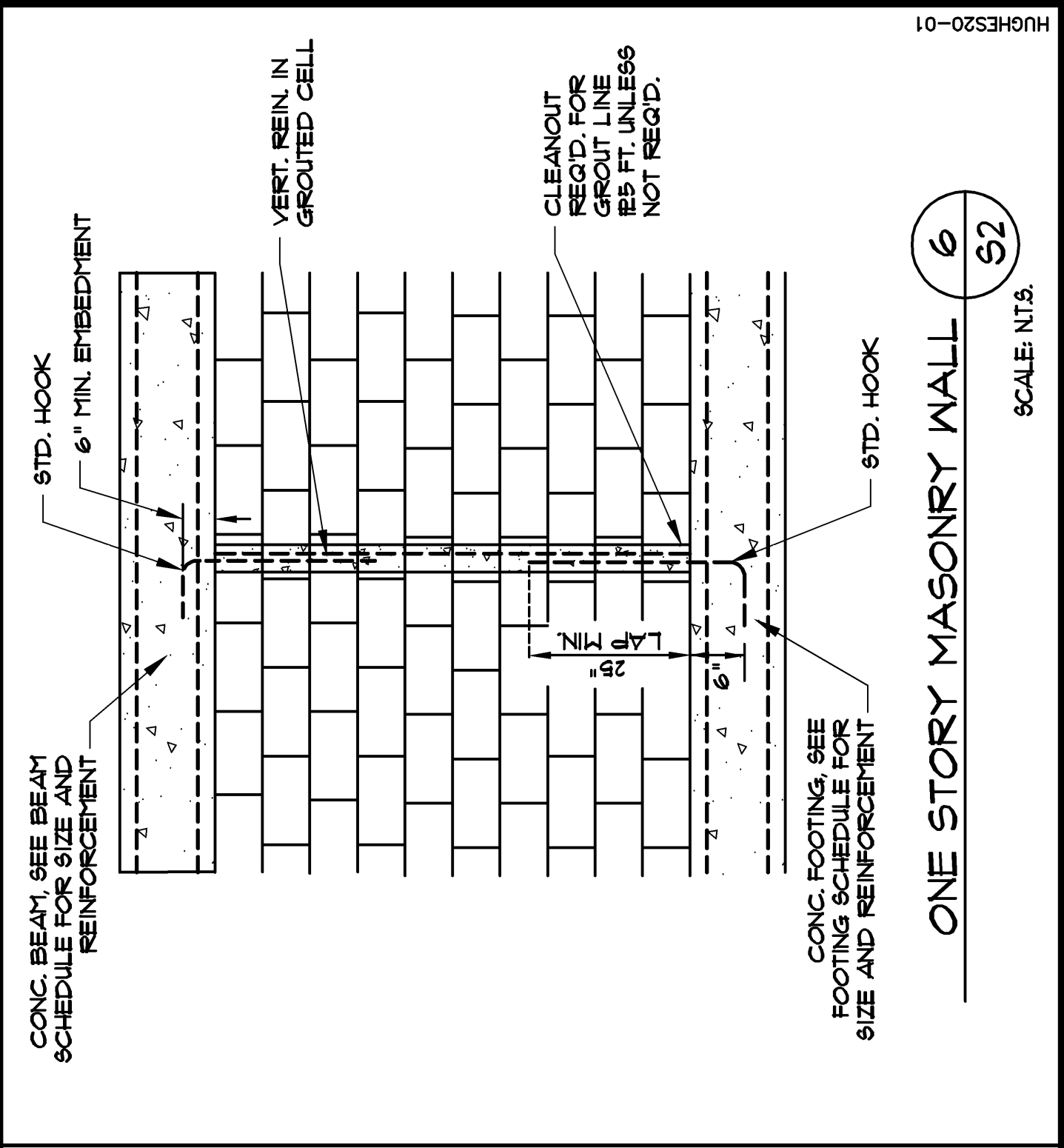
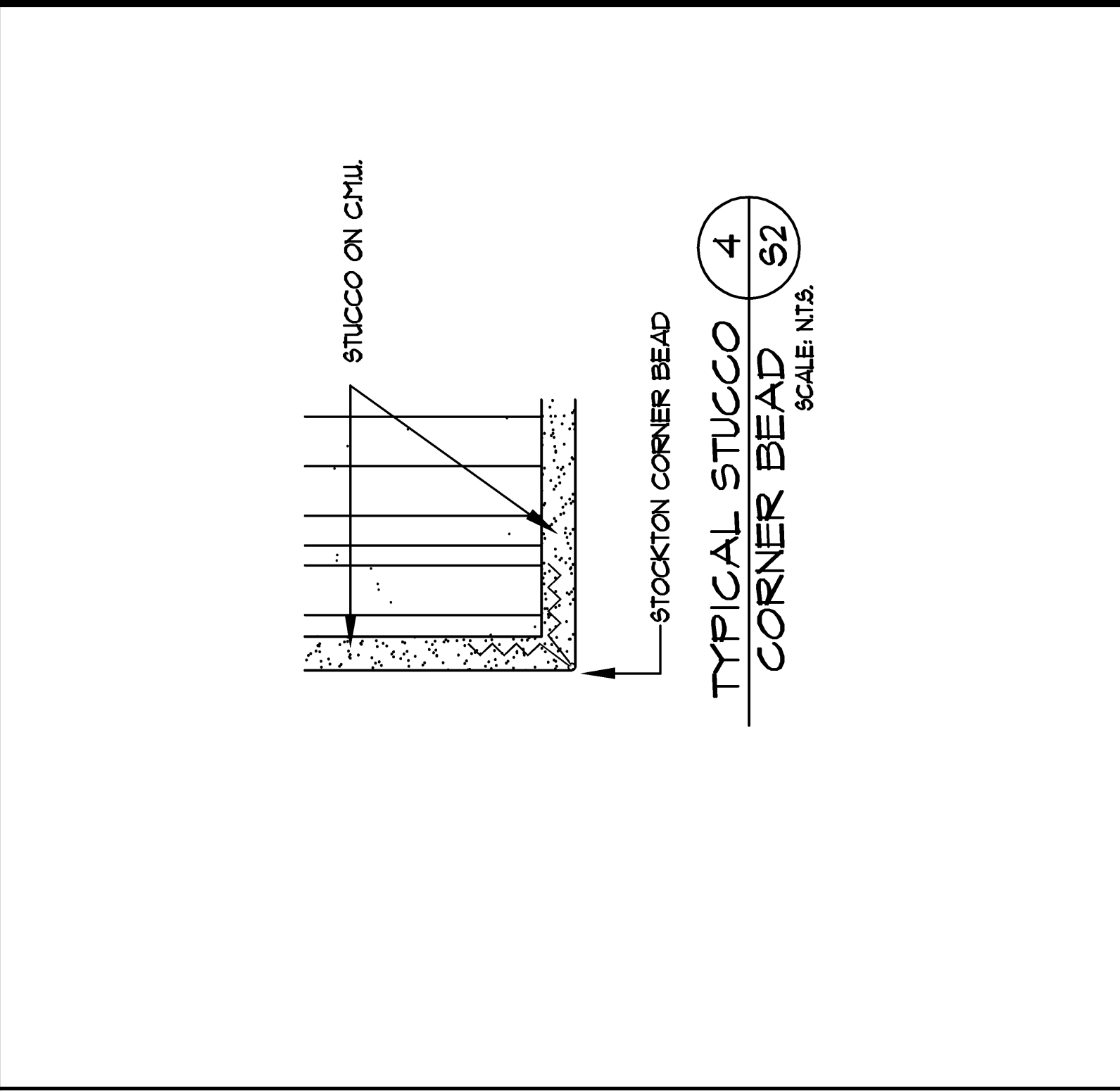
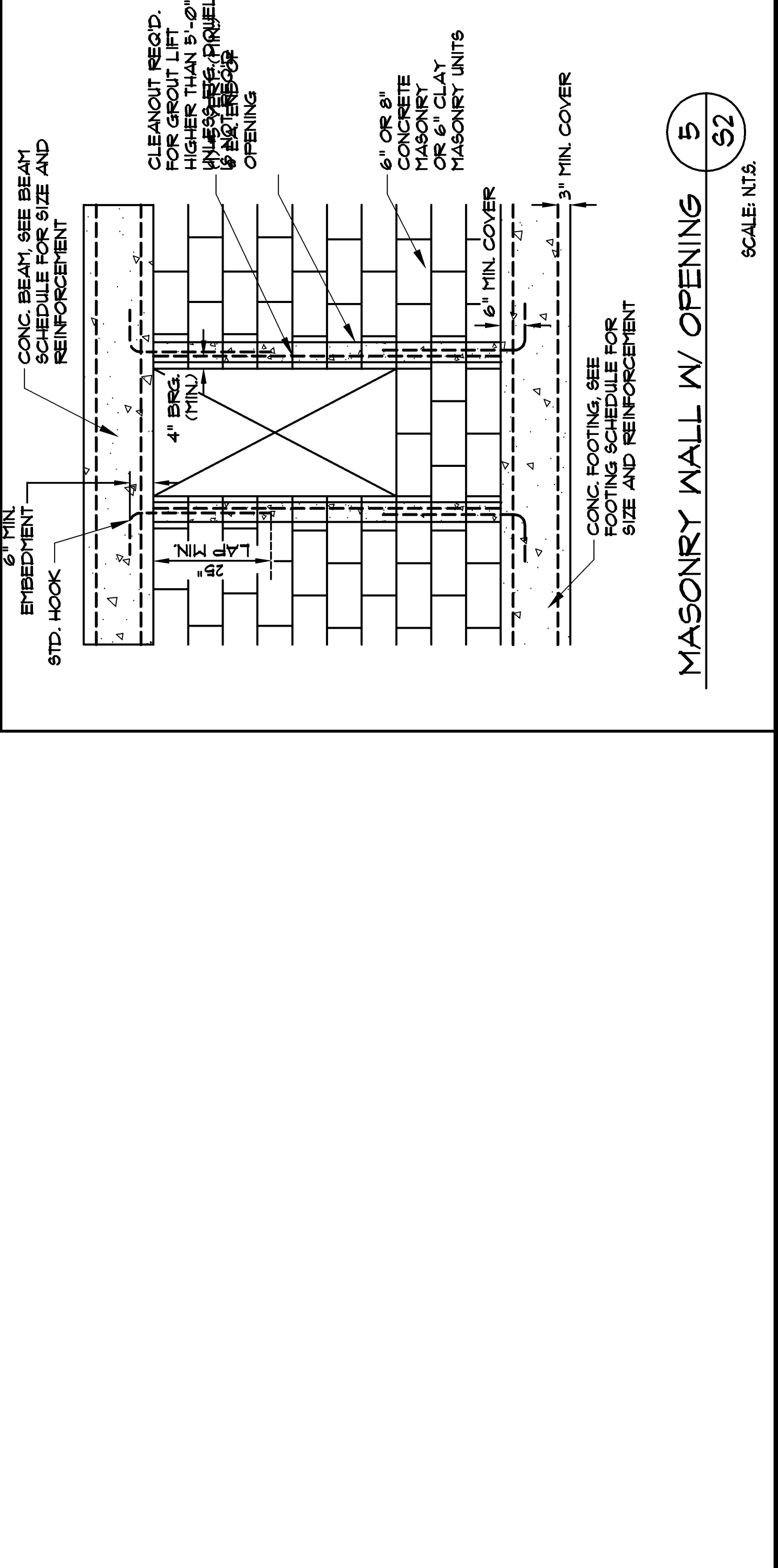
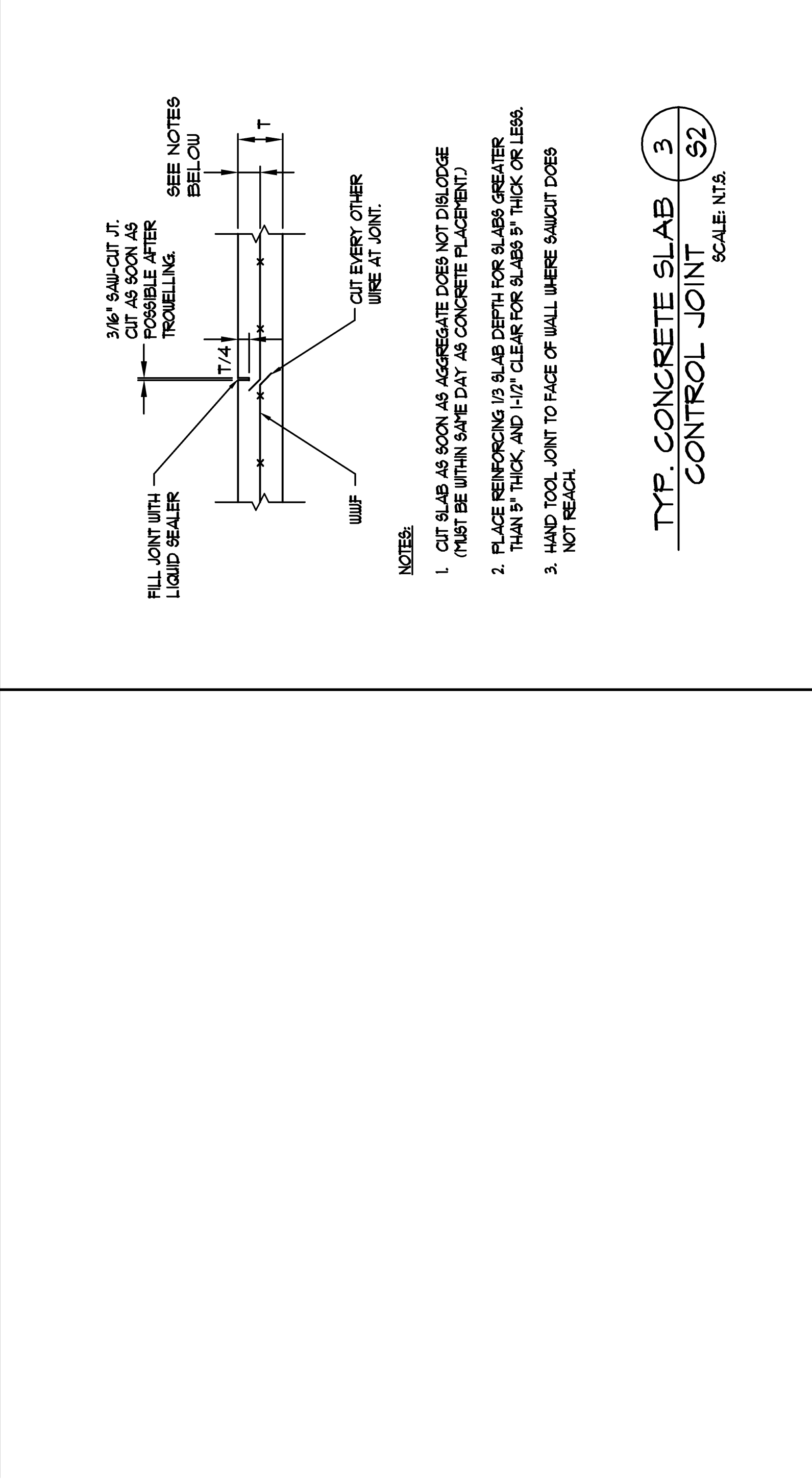
WOOD GENERAL

1. All wood construction shall comply with the latest NFPA and AITC Specifications and Recommendations.
2. Lumber standard shall be American Softwood Lumber Standard PS 20-70, S4S, 19% moisture or as required by structural design.
3. Structural lumber (roof beams, headers, columns, exterior wall studs to be Southern Pine No. 2 KD 15' with a Fb=1300 PSI, E=1600,000 PSI, and Fv = 95 PSI).
4. Glue laminated timber shall conform with ASTM D-3737 and AITC 117. Roof beams shall be designated 24F-V1 or 24F-E1.
5. Plywood for sheathing shall be APA rated sheathing as per plans and shall bear the APA Mark.
6. Wood in contact with concrete, masonry and/or exposed to weather shall be protected or pressure treated in accordance with AITC-109.

EXTERIOR DOOR TO BLOCK 2
ATTACHMENT DETAIL
SCALE: N.T.S.



TYPICAL CMU WALL CONSTRUCTION





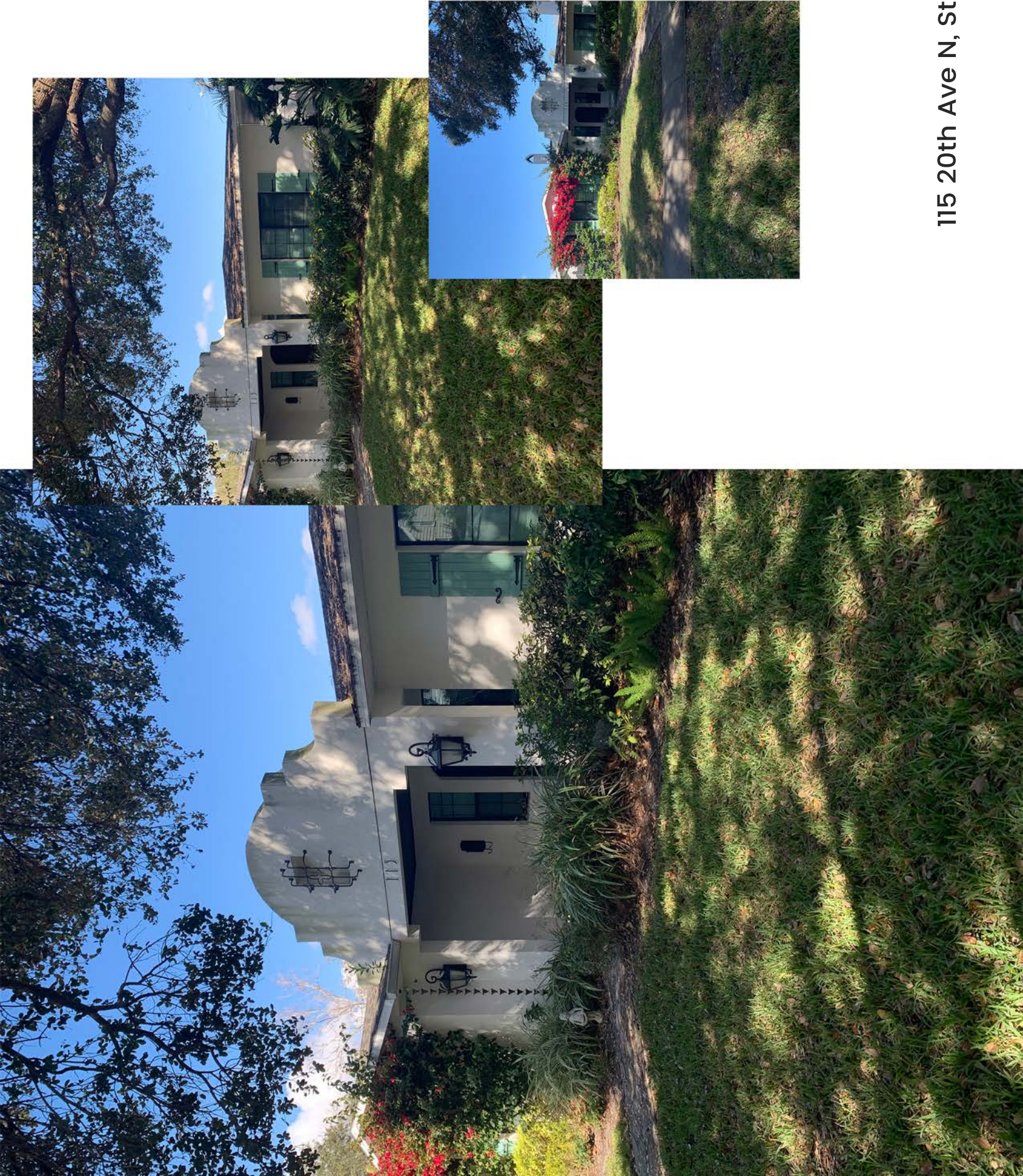
1700 Beach Drive, St. Pete



200 Snell Isle Blvd NE, St. Pete



1238 Brightwaters, St. Pete



115 20th Ave N, St. Pete



148 Ricardo Way, St. Pete



125 Almedo Way NE, St. Pete



Current Renovation.

138 Cordova Way, St. Pete

Candace A. Scott

From: rreed@tampabay.rr.com
Sent: Monday, March 22, 2021 10:52 AM
To: Candace A. Scott
Cc: Charleen McGrath; kimbyflies@yahoo.com; April Cabral; Doug Gillespie; John Peter Barie; John Johnson; Iris L. Winn; RLREED@tampabay.rr.com
Subject: Re: 2925 1st Street NE

Follow Up Flag: Follow up
Flag Status: Flagged

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Re: 2925 1st Street NE

Ms. W

We appreciate that the applicant wishes to update his home but after review by the committee, we feel that the West Indies style gable unfortunately clashes with this post-war ranch-style house. Therefore, we agree that it is incompatible.

One of the architects on the committee had the following comments about the proposed gable:

- This style of gable is most commonly used "engaged" in the same plane as adjacent elements
- It most frequently appears in some form of symmetry.

In this case, the proposed design is:

- A bit awkward in proportion and placement
- Does not fit in with the scale of adjacent properties
- Would appear "out-of-place" in the streetscape because it is so close to the street (addressing the setback issue)
- Without a balancing component to its right it appears to be just "hanging out there"

Thank you,

Robin Reed

Chair, HONNA Planning and Preservation Committee

Amie Reynolds

From: Richard Hughes <richardhughes@clearph.com>
Sent: Friday, February 26, 2021 11:25 AM
To: variance@stpetecon.org
Subject: Notice of Intent To File - 2925 1st Street NE
Attachments: 2925 1st St NE_Pre-App Notes.pdf; Exhibit A_DutchWestIndies_Examples.pdf; RHughes_NoticeofIntent_Lally.pdf; RHughes_VarianceApp.pdf; RHughes_DesignVarianceReq.pdf

Dear Mr Lally,

Please reference the attached documents with my intent to file for my property at 2925 1st Street NE.

Please respond to confirm you received this email.

Thank you so much in advance.

--

Richard Hughes
Founder / CCO



O: 727.851.9596

C: 917.270.7184

[Website](#) - [Instagram](#) - [Facebook](#)

NOTICE OF INTENT TO FILE

February 26, 2021

Council of Neighborhood Associations

Attn: Tom Lally

variance@stpetecona.org

Re: 2925 1st St. NE
Front Setback Variance
Design Variance

Dear Mr. Lally,

Please accept this letter of my notice of intent to file a variance pursuant to the City of St. Petersburg's Land Development Regulations. Applications for the above variances will be filed on March 8th with the City of St. Petersburg Zoning Department.

These applications pertain to proposed improvements to my personal property at 2925 1st St. NE. The proposed improvements are intended to add architectural interest to my single-family home by constructing a Dutch-West Indies style entry feature at my front stoop.

Due to the height of the entry feature at its highest point (approximately 12-14'), the City has indicated that a setback variance is required. The proposed setback for the entry feature is ~22'-5" and it should be noted that my neighbor to the north is setback 19'-4". The required front setbacks in NT-3 zoning are 20' to the stoop, 23' to open front porch, and 30' to the building. All but one of the existing houses on my block are setback less than the 30' required setback.

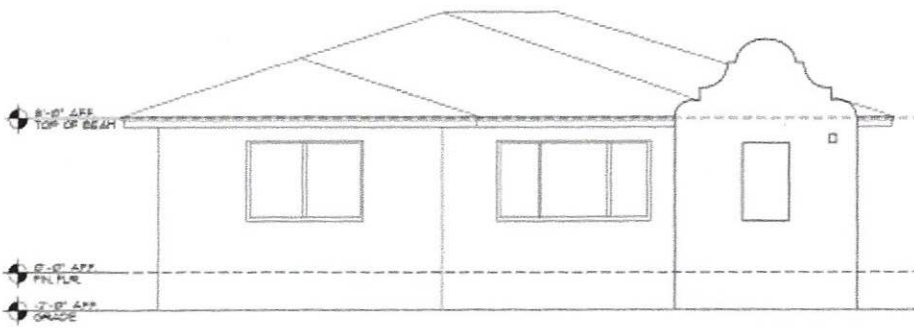
The second issue I have encountered is that the City has indicated that the Dutch-West Indies architectural style is not recognized in their current architectural guidebook. I have attached hereto numerous other homes in our neighborhood that display this style for your consideration.

It is my sincerest hope that you do not object to my proposed improvements as my goal is to enhance the appearance of my home with an element that will add interest to the neighborhood.

I am available to answer any additional questions you may have. Thank you for your consideration.

Sincerely,

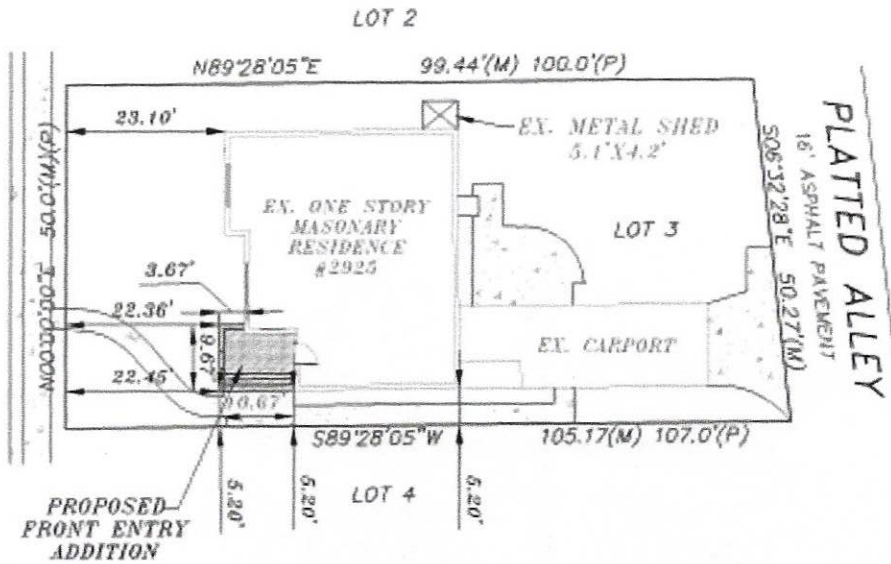

Richard Hughes –homeowner



PROPOSED FRONT ELEVATION

1ST STREET N.E.

RIGHT OF WAY WIDTH NOT VERIFIED



NOTICE OF INTENT TO FILE

February 26, 2021

Federation of Inner-City Community Organizations (FICO)
c/o Kimberly Frazier-Leggett
3301 24th Ave. S., St. Pete 33712

Re: 2925 1st St. NE
Front Setback Variance
Design Variance

Dear Ms. Frazier-Leggett,

Please accept this letter of my notice of intent to file a variance pursuant to the City of St. Petersburg's Land Development Regulations. Applications for the above variances will be filed on March 8th with the City of St. Petersburg Zoning Department.

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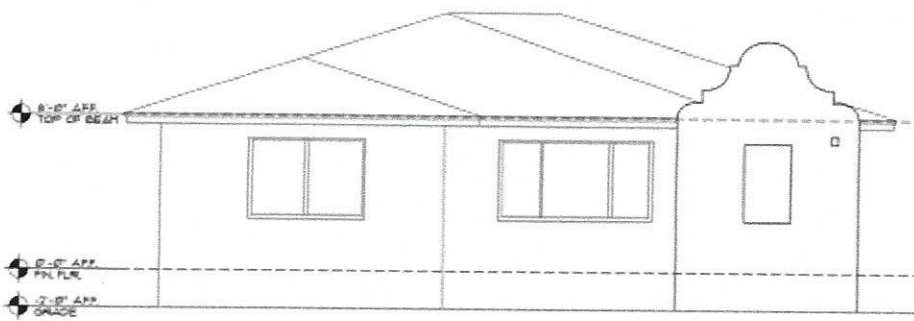
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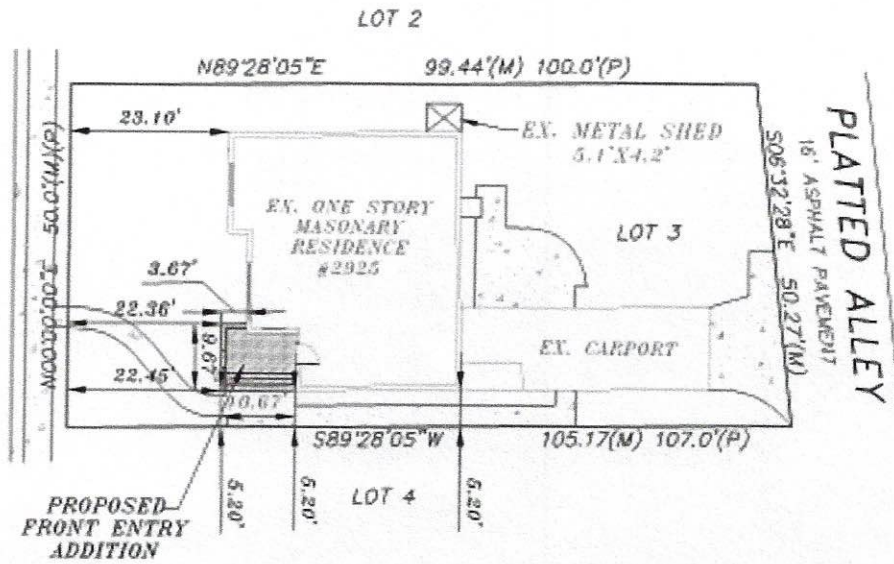
Richard Hughes – homeowner



PROPOSED FRONT ELEVATION

1ST STREET N.E.

RIGHT OF WAY WIDTH NOT VERIFIED



7016 3560 0001 1897 4109

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☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

Postage \$1.40

Total Postage and Fees \$5.00

Sent To

Street and Apt. No., or PO Box No.

City, State, ZIP+4[®]

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

4100 AM: Kimberly Fraser-Lettett
3560 84th Ave S.
ST PETERSBURG, FL 33712



NOTICE OF INTENT TO FILE

February 26, 2021

Historic Old Northeast Neighborhood Association

Attn: John Johnson

Honnapresident@gmail.com

Re: 2925 1st St. NE
Front Setback Variance
Design Variance

Dear Mr. Johnson,

Please accept this letter of my notice of intent to file a variance pursuant to the City of St. Petersburg's Land Development Regulations. Applications for the above variances will be filed on March 8th with the City of St. Petersburg Zoning Department.

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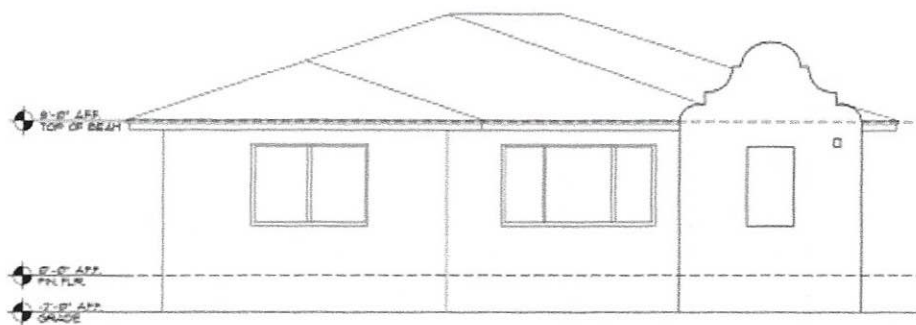
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I am available to answer any additional questions you may have. Thank you for your consideration.

Sincerely,

Richard Hughes - homeowner





PROPOSED FRONT ELEVATION

1ST STREET N.E.

RIGHT OF WAY WIDTH NOT VERIFIED

